



Maricopa County Regional Development Services Agency

Maricopa County Department of Planning & Development

501 North 44th Street
Phoenix, AZ 85008
Phone: 602-506-1387
Fax: 602-506-8510

Public Invited to Comment on Second Draft of Sign Ordinance Text Amendment

The public is encouraged to review and comment on a proposed Text Amendment (TA2007006) to the Maricopa County Zoning Ordinance relating to signs.

Maricopa County Planning and Development's current sign regulations, in addition to being somewhat cumbersome, are out of date with current needs of the community. This amendment includes criteria and definitions for electronic message displays, menu boards, freeway pylon signs, Business Park directory signs. Chapter 2 includes new sign definitions and Chapter 14 text has been reduced from 45 pages to 23 pages.

This is the second draft of the proposed text amendment and public comment is still being accepted. The Text Amendment is scheduled to be heard before the Planning & Zoning Commission's subcommittee (ZIPPOR) on:

Thursday, February 26, 2009

9:30 a.m.

Department of Planning & Development
Platinum Conference Room
501 North 44th Street, Phoenix

The public is invited to attend this meeting. Questions or comments regarding the proposed amendment may be directed to [Terri Hogan](#) via email or by calling 602-506-3927.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 2 – Definitions

SECTION 201. DEFINITIONS

SIGN:

Any words, lettering, parts of letters, figures, numerals, phrases, sentences, emblems, devices, designs, trade names or marks or combinations thereof, whether permanent or variable, by which anything is made known, such as the designation of an individual, a firm, an association, a profession, a business, a commodity, product, or idea.

SIGN, ADVERTISING COPY:

Any paid, one-way communication through a medium in which the sponsor is identified and the message is controlled by the sponsor.

SIGN, AREA:

The total square footage or area of a sign including sign advertising copy mounted as individual letters and/or graphics against a wall or other structure. For calculation purposes, the area shall be completely contained within a circle, square, or rectangle. The sign area shall be clearly defined by a boundary line, frame, contrasting colors, textures, materials and/or a combination of materials designed to differentiate the sign area from the background against which it is placed. The area of any double-face or "V" shaped sign shall be the area of the largest single face.

SIGN, DIRECTORY:

A sign to identify the location of various buildings, offices, or businesses within a complex.



MARICOPA COUNTY ZONING ORDINANCE

Chapter 2 – Definitions

SIGN, ELECTRONIC MESSAGE DISPLAY (EMD):

Electronic Message signs display words, symbols, figures, and images. They may be light emitting diode (LED) displays digitally controlled by electronic communications, or electronic changed by remote or automatic means. EMD's may also include recorded or televised video. EMD's are categorized by levels as follows:

1. Level 1 EMDs are all or part of a sign that contains static messages only and shall not have "fade" or "dissolve" transitions, nor full animation nor video, or similar subtle transitions and frame effects that do not have the appearance of moving text or images.



2. Level 2 EMDs are all or part of a sign that contains static messages with "fade" or "dissolve" transitions or similar subtle transitions and frame effects that do not have the appearance of moving text or images, full animation nor video.



3. Level 3 EMDs are all or part of a sign that contains messages with "travel" or "scrolling" transitions, or similar transitions and frame effects that have text or animated images that appear to move or change in size, or be revealed sequentially rather than all at once, but are not video or televised messages.



MARICOPA COUNTY ZONING ORDINANCE

Chapter 2 – Definitions

- Level 4 EMDs are all or part of a sign contains full animation, televised or video displays.



SIGN, FREESTANDING:

Freestanding signs are not wall signs, billboards, or freeway pylon signs, but can be pole or architecturally based.

SIGN, FREEWAY PYLON:

An identification sign located on property abutting a freeway, or part of a complex or center abutting a freeway, that is oriented to and intended to be read from the freeway for the purpose of identifying an associated commercial, industrial, or mixed-use development and tenants within that development.



SIGN, HEIGHT:

The height of the sign shall be the vertical dimension from the highest point of the structure to the lowest finish grade adjacent to the sign.

SIGN, MENU BOARD:

A freestanding sign with or without a speaker box, displaying the bill of fare of a drive-in or drive-thru restaurant.



MARICOPA COUNTY ZONING ORDINANCE

Chapter 2 – Definitions

SIGN, OFF-SITE [BILLBOARD]:

A sign portraying information which directs attention to an idea, issue, point of view, candidate, entity, business, commodity, service, entertainment, product or attraction sold, offered, or existing elsewhere than upon the property where the sign is located.”

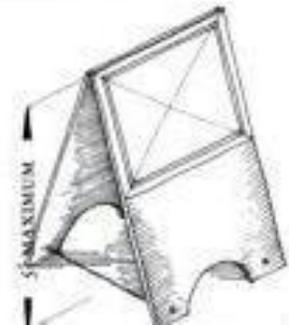
SIGN, PROJECTING:

A type of wall sign attached to a building or other structure and extending in whole or in part more than **fifteen (15) inches** beyond the building line including awnings and canopies extending from sides of buildings.



SIGN, PORTABLE:

Any temporary sign not permanently attached to the ground or other permanent structure or a sign designed to be transported, including, but not limited to, signs designed to be transported by means of wheels; sign walkers, signs made as A-frames or T-frames; menu and sandwich board signs; balloons used as signs; umbrellas used for commercial messages; and signs attached to or painted on vehicles parked and visible from the public right-of-way, unless said vehicle travels in the normal day-to-day operations of the business.



SIGN, ROOF:

A sign affixed on, above, or over the roof of a building or structure so that it projects above the eave line of a roof. The top of the parapet wall shall be considered the eave line. The lowest point of a mansard style roof shall be considered the eave line. Where a parapet wall is combined with a mansard roof, the eave line shall be the top of the parapet. Canopies serving as the only roof over a structure such as a carports, or fuels stations or other similar structures, for purposes of administering the sign code, shall be considered to be roofs.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 2 – Definitions

SIGN, RURAL OR RESIDENTIAL IDENTIFICATION:

Any on-site, non-commercial sign in a Rural or Residential zoning district intended to identify the name, and/or address of a building.

SIGN, TEMPORARY:

A sign that is used in connection with a circumstance, situation, or event; that is designed intended or expected to take place or to be completed within a reasonably short or definite period not to exceed **one-hundred twenty (120) days**.



SIGN, VARIABLE:

A sign or portion of a sign designed to allow a change of copy manually, or by remote or by automatic means including tri-visions and electronic, digital, or video message displays.

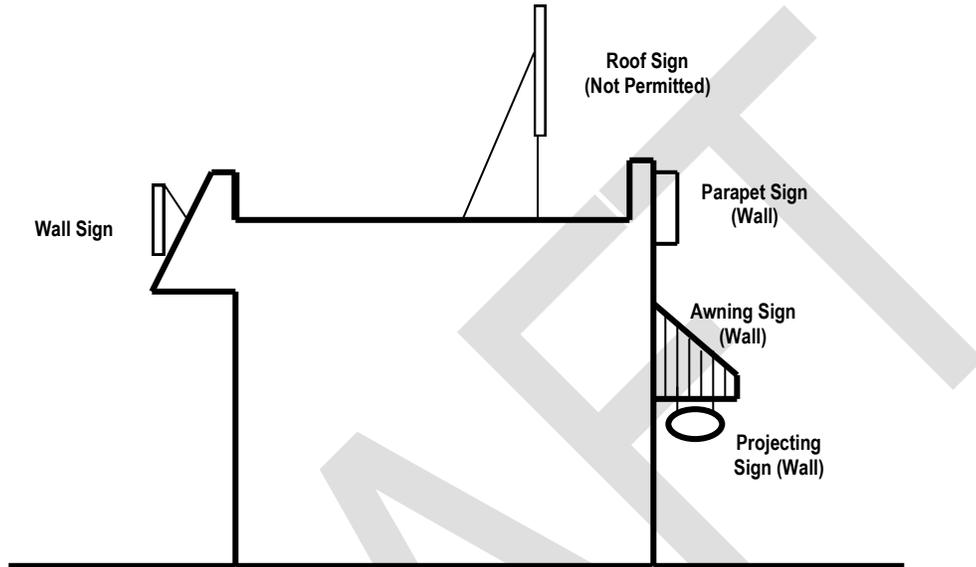


MARICOPA COUNTY ZONING ORDINANCE

Chapter 2 – Definitions

SIGN, WALL:

A sign mounted flat against, projecting from or painted on the wall, awning, or parapet of a building or structure in such a manner that the wall becomes the supporting structure for or forms the background surface of the sign.



MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

SECTION 1401. GENERAL SIGNAGE REGULATIONS

ARTICLE 1401.1. PURPOSE:

The purpose of this Chapter is to promote public safety, create an attractive business climate and enhance the physical appearance of the community through a comprehensive system of reasonable, consistent, and nondiscriminatory sign standards and requirements.

These regulations are intended to:

- a. Enable the identification of places of residence and business.
- b. Allow for the communication of information necessary for the conduct of commerce.
- c. Encourage signs that are appropriate to the zoning district in which they are located and consistent with the category of use to which they pertain.
- d. Regulate signs in a manner so as to not interfere with, obstruct vision of, or distract motorists, bicyclists or pedestrians, from their ability to see traffic signals, road hazards, and other motorists, bicyclists, or pedestrians.
- e. Require signs to be constructed, installed, and maintained in a safe and satisfactory manner.

ARTICLE 1401.2. EXEMPTIONS:

The following signs are exempt from the regulations of this Chapter:

- a. Signs on mailboxes or newspaper tubes;
- b. Integral decorative or architectural features of buildings or works of art, as long as the features do not contain moving parts, lights, or logos;
- c. Bulletin boards;
- d. Public service signs, not exceeding **two (2) square feet** in area, placed in the interior of an establishment's building window or glass door, such as "open or closed," "vacancy," "will return," "no

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

- smoking,” and other noncommercial messages; warning the public against trespassing, danger from animals, and road hazards;
- e. Signs that constitute an integral part of a vending machine, telephone booth or similar facilities, provided the sign does not interfere with the vision clearance area;
 - f. Flags, badge, emblem or insignia of any government or governmental agency, or of any civic charitable, religious, patriotic, fraternal, or similar organization, provided the sign does not interfere with the vision clearance area.

ARTICLE 1401.3. GENERAL SIGN REGULATIONS [ALL ZONING DISTRICTS]:

The regulations set forth in this Article qualify or supplement, as the case may be, the zoning district regulations appearing elsewhere in this Ordinance. In the event of a conflict between regulations, the more restrictive applies.

- 1401.3.1. Freestanding and projecting signs may be double-faced.
- 1401.3.2. When the two faces of a double-faced sign have identical dimensions, the area of a double-faced sign shall include only one of the faces, except as otherwise provided herein.
- 1401.3.3. Unless stated otherwise, signs may be indirectly illuminated and the lighting shall be in compliance with the provisions as set forth in this Ordinance. No flashing or intermittent illumination shall be employed. Lighting directed toward a sign shall be top-mounted full-cutoff lighting.
- 1401.3.4. If located within **one hundred and fifty (150) feet** of a Rural or Residential zoning district, the sign shall not be lit after 10:00 p.m. This distance regulation is not subject to modification via a Unit Plan of Development or Variance.
- 1401.3.5. Any sign using plastic zip track or other method of replaceable lettering shall have a secured cover.
- 1401.3.6. No sign may be placed in the sight visibility triangle or any location where it presents a traffic hazard or other threat to human safety.
- 1401.3.7. Roof signs shall not be permitted in any zoning district.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

1401.3.8

Permits required:

1. Permanent Rural and Residential identification signs are permitted as a use-by-right and do not require a review or construction permit subject to the provisions as set forth in this Ordinance.
2. All other permanent signs require a construction permit and zoning clearance and may be subject to other provisions as set forth in this Ordinance.
3. Temporary signs, unless stated otherwise, are exempt from construction permits and zoning clearance.
4. Temporary special event signs require a Temporary Use Permit.

1401.3.9

Maintenance of signs:

1. All signs and all components thereof, including supports, braces, and anchors, shall be kept in a state of good repair.
2. Any sign displayed which no longer correctly directs or exhorts any person, advertises a bonafide business, lessor, owner, product, or activity or where such sign is damaged, in disrepair or vandalized and not repaired within thirty (30) days of the damaging event shall not be permitted in any zone.
3. Abandoned signs and all supporting structural components shall be removed by the sign owner, owner of the property where the sign is located or other party having control over the sign; each being individually and severally responsible for removing the sign within thirty (30) days after abandonment, unless the sign is replaced with a conforming sign.

ARTICLE 1401.4.

DIRECTIONAL SIGNS, SUBJECT TO THE FOLLOWING [ALL ZONING DISTRICTS]:

1401.4.1.

Allowable sign area shall not exceed:

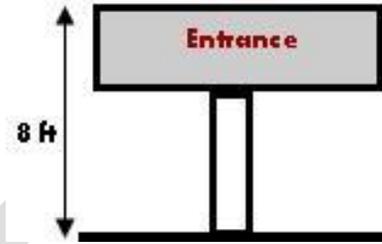
- a. In Rural and Residential zoning districts, **two (2) square feet**.
- b. In Commercial and Industrial zoning districts, **six (6) square feet**.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

1401.4.2. Allowable sign height shall not exceed:

- a. In Rural and Residential zoning districts, **eight (8) feet**.
- b. In Industrial and Commercial zoning districts, **twelve (12) feet**.



1401.4.3. May be located in or project into required yards, but the sign shall not be located in or project into any street or alley.

1401.4.4. **One (1)** sign shall be allowed for each entrance and **one (1)** for each exit.

1401.4.5. Directional signs shall not count against total allowable permanent identification area of the allowable total aggregate area of wall signs or the maximum number of freestanding signs as set forth in the provisions in this Ordinance.

ARTICLE 1401.5. TEMPORARY SIGNS:

Temporary signs provide an important medium through which individuals may convey a variety of noncommercial and commercial messages. However, if left completely unregulated, temporary signs can become a threat to public safety as a traffic hazard and detrimental to property values and overall public welfare as an aesthetic nuisance.

These regulations are intended to balance the rights of individuals to convey their messages through temporary signs and the right of the public to protect the public health, safety, and welfare; reduce traffic and pedestrian hazards; protect property values by minimizing the possible adverse effects and visual blight caused by temporary signs; promote economic development; and ensure the fair and consistent enforcement of the temporary sign regulations specified below.

1401.5.1. Unless otherwise stated in the provisions set forth in this Ordinance, Temporary sign area shall not exceed:

- a. In Rural and Residential zoning districts, **six (6) square feet**.
- b. In all other zoning districts, **twelve (12) square feet**.

1401.5.2. Signs advertising a candidate for public elective office are permitted as temporary under the following criteria:

MARICOPA COUNTY ZONING ORDINANCE

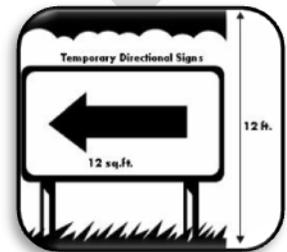
Chapter 14 – Sign Regulations

- a. Shall not be displayed earlier than sixty (60) days prior to an election.
- b. Shall be placed on private property and not permitted in public rights-of-way, intersection "sight triangles", or roadway clear zones.
- c. Shall be removed within **thirty (30)** days after the specific election to which they refer.

1401.5.3. No temporary signs shall be illuminated.

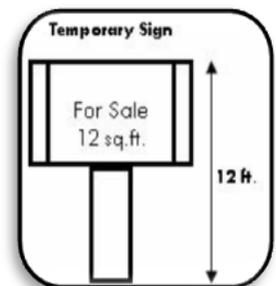
1401.5.4. **Temporary Directional Signs:**

1. Shall not exceed **twelve (12) square feet** in area.
2. **One (1)** sign shall be allowed for each entrance and **one (1)** for each exit.
3. May be located in or project into required yards, but the sign shall not be located in or project into any street or alley.
4. Shall be removed from the property within **fourteen (14) days** after the purpose of the sign is fulfilled.



1401.5.5. **Signs Pertaining To the Sale or Lease of Land:**

1. Allowable sign area shall not exceed:
 - a. For properties containing a total land area less than 1 acre, **six (6) square feet**.
 - b. For properties containing land area of at least one (1) acre but not more than five (5) acres, **twelve (12) square feet**.
 - c. For properties containing land area greater than five (5) acre, **thirty-two (32) square feet** for the first five (5) acres and an increase of **fifteen percent (15%)** for each additional five (5) acres not to exceed **one hundred fifty (150) square feet** and are subject to a construction permit and zoning clearance.



MARICOPA COUNTY ZONING ORDINANCE

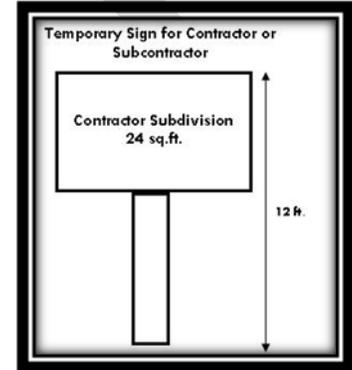
Chapter 14 – Sign Regulations

2. All signs shall be located on the property to which it pertains and the number shall be limited to **one (1)** sign on each street frontage.
3. Shall not exceed **twelve (12) feet** in height.
4. No sign shall be located in or project into required yards nor shall any sign be located in or project into any street or alley.

1401.5.6.

Signs identifying the contractors and subcontractors, if any, engaged in the construction or repair of a building or buildings, subject to the following:

1. Shall not exceed **twenty-four (24) square feet** in area.
2. Shall not exceed **twelve (12) feet** in height.
3. The sign shall be located on the property to which it pertains and the number shall be limited as follows:
 - a. **One (1)** per lot.
 - b. Commercial and Industrial zoning districts may have **one (1)** for each tenant.
4. The sign may be located in or project into required yards, but the sign shall not be located in or project into any street or alley.



MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

SECTION 1402. RURAL AND RESIDENTIAL ZONING DISTRICTS

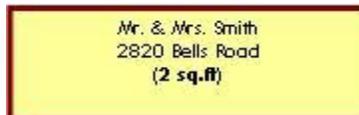
ARTICLE 1402.1. SPECIFIC RURAL AND RESIDENTIAL SIGNAGE REGULATIONS:

- 1402.1.1. Unless stated otherwise, signs in Rural and Residential zoning districts shall not be located in or project into any required yard nor shall any sign be located in or project into any street or alley.
- 1402.1.2. A sign shall be located on the property to which it pertains.
- 1402.1.3. Variable message signs are permitted.
- 1402.1.4. Electronic Message Displays (EMD) in Rural and Residential zoning districts shall be restricted to Level 1 in accordance with the definition.



ARTICLE 1402.2. IDENTIFICATION SIGNS IN RURAL AND RESIDENTIAL ZONING DISTRICTS SUBJECT TO THE FOLLOWING:

- 1402.2.1. Shall not exceed **two (2) square feet** in area.
- 1402.2.2. Shall not exceed **eight (8) feet** in height above grade.



- 1402.2.3. Shall be limited to **one (1)** sign for each dwelling unit.

ARTICLE 1402 .3. SUBDIVISIONS SIGNS ARE SUBJECT TO THE FOLLOWING:

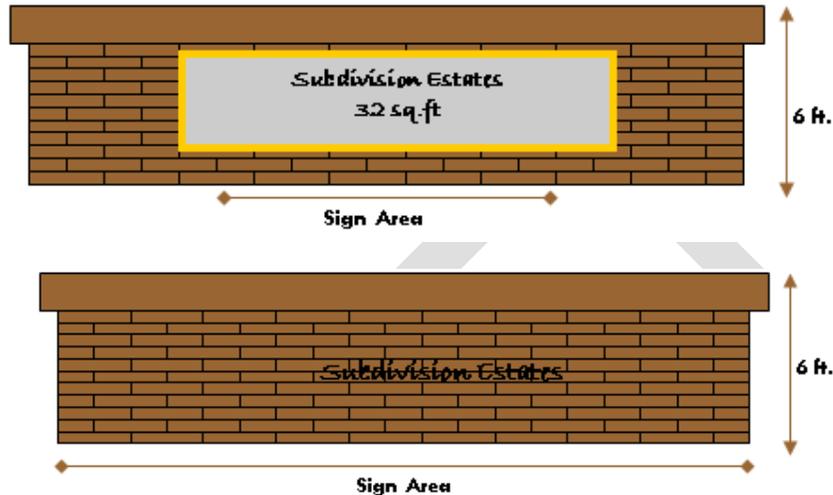
- 1402.3.1. Shall not exceed **thirty-two (32) square feet** in area.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

1402.3.2. Shall not exceed **six (6) feet** in height.

1402.3.3. Such signs shall only be located at entry points of the subdivision. The number shall not exceed **two (2)** for each entrance.



1402.3.4. The base of the sign shall be equal to or greater than **half the width** of the sign.

ARTICLE 1402.4. DIRECTORY SIGNS (R-2, R-3, R-4 & R-5 ZONING DISTRICTS)

When required to identify the location of various buildings within a complex, the use, number and location of the signs shall conform to the following standards:

1402.4.1. A freestanding standing architectural base sign with a maximum area of **eighteen (18) square feet**.

1402.4.2. Shall be not exceed **six (6) feet** in height.

1402.4.3. These signs shall not be included in calculating the total aggregate area for signage allowed on a parcel or lot for the approved use.

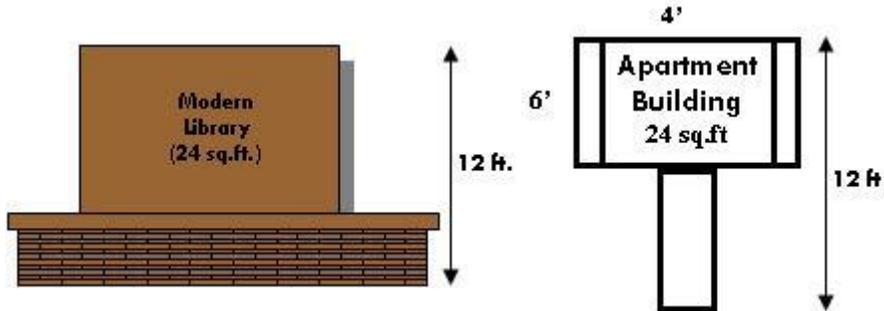
ARTICLE 1402.5. ALL OTHER SIGNS FOR ALLOWED USES IN RURAL AND RESIDENTIAL ZONING DISTRICTS SUBJECT TO THE FOLLOWING:

1402.5.1. Shall not exceed **twenty-four (24) square feet** in area.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

1402.5.2. Shall not exceed **twelve (12) feet** in height.



1402.5.3. The maximum number shall be **one (1)** for each entrance.

1402.5.4. The sign may be located in required yard, but no closer than **twenty (20) feet** to property line.

DRAFT

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

SECTION 1403. COMMERCIAL ZONING DISTRICTS

ARTICLE 1403.1. SPECIFIC REGULATIONS:

- 1403.1.1. Signs in Commercial zoning districts may be illuminated in accordance with the provisions set forth in this Ordinance. No sign located within **one-hundred fifty (150) feet** of a Rural or Residential zoning boundary may be illuminated. This distance regulation is not subject to modification via a Unit Plan of Development or Variance.
- 1403.1.2. Signs within any Commercial zoning district where a Plan of Development (POD) is required shall be part of an approved comprehensive sign package.
1. The comprehensive sign package shall include a table of the number of signs, types of signs, map with location of signs, and square footage of each sign.
 2. The sign package shall include examples of colors, texture, lighting methods, sign type, and architectural features.
 3. The comprehensive sign package shall be reviewed concurrently with the Plan of Development (POD).
- 1403.1.3. Signs may be located in required yard, but shall not be located in or project into any street or alley.
- 1403.1.4. Signs shall be oriented to the business street frontage or to common use parking lots, courtyards, or pedestrian ways on which the business fronts or takes access.
- 1403.1.5. Electronic Message Display (EMD) signs are permitted in accordance with the definitions, based on the zoning district as follows:
- a. C-1 & C-0 zoning district: Level 1 and Level 2;
 - b. C-2 zoning district: Level 1 through 3;
 - c. C-S zoning district: – Levels 1 through 4.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

ARTICLE 1403.2. ON-SITE SIGNS:

1403.2.1. Wall signs:

1. The total aggregate area of all wall signs shall not exceed **15%** of one (1) front face/plane of a single/multi-tenant building, or wall plane [measured as a vertical plane from the ground to top of parapet or eave line of pitched or mansard roof] of an individual business frontage where more than **one (1)** tenant occupies the building. The calculation of the aggregate shall be measured from the ground to the top of wall of the building.



2. Shall not exceed **16 feet** in height and the sign shall not extend above the roofline unless it is erected on a parapet wall or fascia that extends above the roofline of a flat roof.
3. The maximum number shall be **one (1)** for each business/tenant. Single tenant building may have **one (1)** per street frontage.

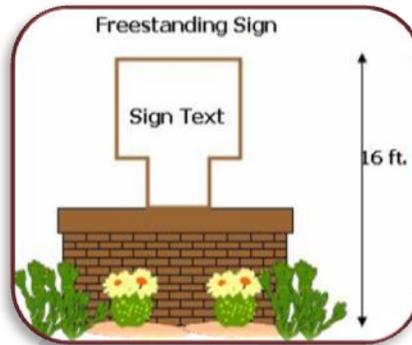
1403.2.2. Freestanding signs:

1. Shall not exceed **120 square feet** in area.
2. No sign shall have a height exceeding **16 feet** except as follows:
 - a. For any signs within **two-hundred (200) feet** of a Rural or Residential zone, the maximum height shall not exceed **twelve (12) feet**.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

- b. For each **five (5) feet** beyond the **two-hundred (200) feet** as described in the previous section, the maximum may increase **one (1) foot** provided however, in no event shall the sign height exceed **sixteen (16) feet**.



3. The number of freestanding signs permitted shall be **one (1)** per driveway entrance or driveway exit not to exceed **two (2)** per street frontage.
4. In C-2 and C-3 zoning districts, the sign may be a moving, rotating or revolving sign, but no sign shall rotate faster than **seven (7) revolutions per minute**.

1403.2.3.

Menu boards for drive thru restaurants:

1. **One (1)** preview menu board and **one (1)** ordering menu board is permitted per business.
2. Shall not exceed **thirty-two (32) square feet** in area for each.
3. Shall not exceed **seven (7) feet** in height.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

4. The menu board shall require screening by a wall or landscaping so they are not visible from the street.



1403.2.4.

Directory signs:

1. The maximum area shall be **two (2) square feet** for each business listed on the sign plus **four (4) square feet** for the name of the building or complex.



2. Shall not exceed **six (6) feet** in height.
3. Directory signs shall not be included in calculating the total aggregate area for signage allowed on a parcel or lot for the approved use.

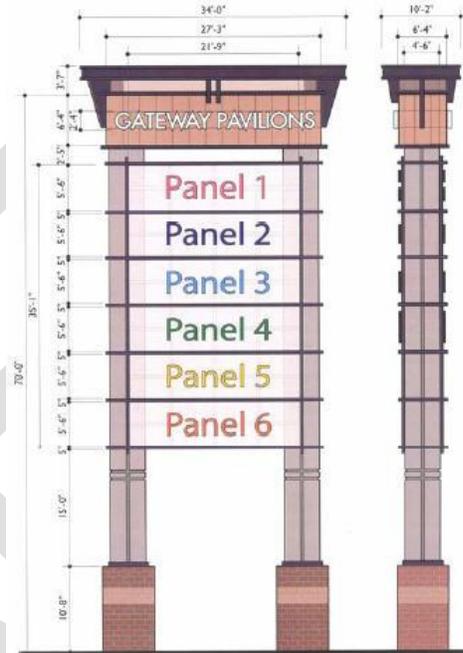
MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

1403.2.5.

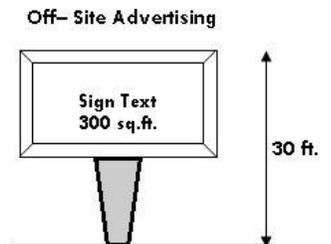
Freeway Pylon Signs [C-S AND C-2 ZONING DISTRICTS ONLY]:

1. Shall be permitted and reviewed as part of a comprehensive sign package.
2. Shall not exceed **sixty-five (65) feet** in height.
3. Shall not exceed **twenty-three (23) feet** in width.
4. Shall not exceed a **2.8-to-1 ratio** of height-to-width.
5. The sign area per face shall not exceed **forty-five percent (45%)** of the gross sign area.
6. Shall not count against the total number of freestanding or wall signs permitted.
7. The sign shall be designed and constructed in architectural conformity with the overall design of the commercial center.
8. At the base of any Freeway Pylon sign, a landscape area shall be provided extending to a minimum of **four (4) feet** beyond the perimeter section of the sign structure at its widest point.
9. Level 1, 2, and 3 electronic message displays (EMD) are permitted.



ARTICLE 1403.3. OFF-SITE ADVERTISING, BILLBOARDS [C-2 AND C-3 ZONING DISTRICTS ONLY]:

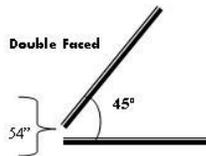
1. Shall not exceed **300 square feet** in area. However, may utilize embellishments of 10% of the sign area.
2. Shall not exceed **30 feet** in height.



MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

- Any sign may be double-faced or “V” shaped, provided the “V” shape is designed so that it is no greater than **54 inches** between faces at the apex and the angle between the faces of the sign is no greater than **45 degrees**.



- No more than **one (1)** sign per property.
- The sign shall be freestanding.
- No sign shall be audible in any manner.
- All signs shall maintain the same property line setbacks as provided for structures.
- Level 4 Electronic Message Displays are not permitted.
- No sign shall be located closer to any off-premise sign than **3,000 ft.**; provided, however, any sign proposed on property located **three (3) miles** or less from the boundary of any incorporated city or town may be located within **1,000 feet** of another off-premise sign.
- No sign shall not be located within **100 feet** of any Rural or Residential zoning district boundary, whether or not separated by a public right-of-way.
- No sign shall be located within **500 feet** of any park, school or roadside rest area.
- No billboard may be erected along any freeway or expressway under County jurisdiction. For purposes of this section, “along” shall mean within a minimum of **660 feet** of any existing or adopted expressway or freeway right-of-way.
- On State Route 74 between U. S. 60-89 and Lake Pleasant Road, no billboards shall be erected within a minimum of **660 feet** of said highway right-of-way.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

14. On U. S. Highway 60-89 from Estrella Freeway to Wickenburg, no billboards shall be erected within a minimum of **660 feet** of said highway right-of-way.
15. The above listed spacing or distance regulations are not subject to modification via a Unit Plan of Development or Variance.

DRAFT

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

SECTION 1404. INDUSTRIAL ZONING DISTRICTS

ARTICLE 1404.1. SPECIFIC REGULATIONS:

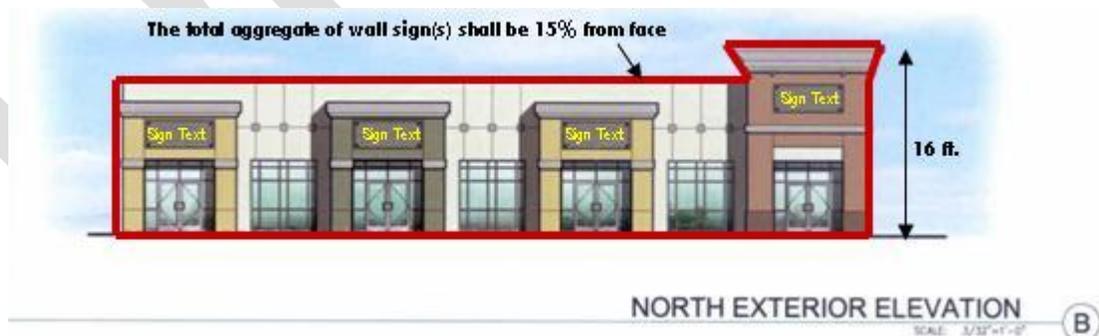
1404.1.1. Signs in Industrial Zoning Districts may be illuminated as set forth in the provisions of this Ordinance. No sign located within **one-hundred fifty (150)** feet of a Rural or Residential zoning boundary may be illuminated. This distance regulation is not subject to modification via a Unit Plan of Development or Variance.

1404.1.2. Level 4 signs are not permitted.

ARTICLE 1404.2. ON-SITE SIGNS:

1404.2.1. Wall signs:

1. The total aggregate area of all the wall signs shall not exceed **15%** of one (1) front face/plane of a single/multi-tenant building, or wall plane [measured as a vertical plane from the ground to top of parapet or eave line of pitched or mansard roof] of an individual business frontage where more than **one (1)** tenant occupies the building. The calculation of the aggregate shall be measured from the ground to the top of wall of the building.
2. Shall not exceed **20 feet** in height and the sign shall not extend above the roofline unless it is erected on a parapet wall or fascia that extends above the roofline of a flat roof.



3. The maximum number shall be **one (1)** for each business/tenant. Single tenant building may have **one (1)** per street frontage.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

1404.2.2.

Freestanding signs:

1. Shall not exceed **one-hundred (150) square feet** in area.
2. No sign shall have a height exceeding **twenty (20) feet** except as follows:
 - a. For any signs within **two-hundred (200) feet** of a Rural or Residential zone, the maximum height shall not exceed **twelve (12) feet**.
 - b. For each **five (5) feet** beyond the **two-hundred (200) feet** described in the above section, the maximum may increase **one (1) foot** provided however, in no event shall the sign height exceed **sixteen (16) feet**.
3. The number of freestanding signs permitted shall be **one (1)** per driveway entrance or driveway exit, not to exceed **two (2)** per street frontage.
4. In IND-2 and IND-3 zoning districts, the sign may be a moving, rotating or revolving sign, but no sign shall not rotate faster than **seven (7) revolutions per minute**.

1404.2.3.

Directory signs:

1. The maximum area shall be **two (2) square feet** for each business listed on the sign plus **four (4) square feet** for the name of the building or complex.



2. Shall not exceed **six (6) feet** in height.
3. Directory signs shall not be included in calculating the total aggregate area for signage allowed on a parcel or lot for the approved use.

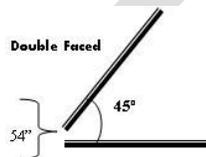
MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

ARTICLE 1404.3.

OFF-SITE ADVERTISING, BILLBOARDS:

1. Shall not exceed **300 square feet** in area. However, may utilize embellishments of 10% of the sign area.
2. Shall not exceed **30 feet** in height.
3. Any sign may be double-faced or “V” shaped, provided the “V” shape is designed so that it is no greater than **54 inches** between faces at the apex and the angle between the faces of the sign is no greater than **45 degrees**.



4. No more than **one (1)** sign per property.
5. The sign shall be freestanding.
6. No sign shall be audible in any manner.
7. All signs shall maintain the same property line setbacks as provided for structures.
8. No sign shall be located closer to any off-premise sign than **3,000 ft.**; provided, however, any sign proposed on property located **three (3) miles** or less from the boundary of any incorporated city or town may be located within **1,000 feet** of another off-premise sign.
9. No sign shall not be located within **one-hundred (100) feet** of any Rural or Residential zoning district boundary, whether or not separated by a public right-of-way.
10. No sign shall be located within **five-hundred (500) feet** of any park, school or roadside rest area.
11. No billboard may be erected along any freeway or expressway under County jurisdiction. For purposes of this section, “along” shall mean within a minimum of **660 feet** of any existing or adopted expressway or freeway right-of-way.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

12. On State Route 74 between U. S. 60-89 and Lake Pleasant Road, no billboards shall be erected within a minimum of **660 feet** of said highway right-of-way.
13. On U. S. Highway 60-89 from Estrella Freeway to Wickenburg, no billboards shall be erected within a minimum of **660 feet** of said highway right-of-way.
14. The above listed spacing or distance regulations are not subject to modification via a Unit Plan of Development or Variance.

DRAFT

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

SECTION 1405. OVERLAY ZONING DISTRICTS

ARTICLE 1405.1. WICKENBURG SCENIC CORRIDOR:

1405.1.1. **Class 3:** All new signs, in addition to regulations found elsewhere in this Ordinance, shall conform to the following regulations:

1. All signs shall be kept to minimum size and height required for reasonable exposure of said signs.
2. Advertising and directional signs will be encouraged to be placed along the Wickenburg Highway on Arizona Department of Transportation Highway "logo" signs.
3. A maximum of **one (1)** freestanding sign shall be allowed for each lot.
4. All signs shall be made of or appear to be made of natural materials.
5. No signs may use more than **three (3)** different colors. **One (1)** color shall match the principal building color.
6. Off-site advertising signs shall be prohibited within **660 feet** of the Highway right-of-way. This distance regulation is not subject to modification via a Unit Plan of Development or Variance.

1405.1.2. **Class 4:** All new signs, in addition to regulations found elsewhere in this Ordinance, shall conform to the following regulations:

1. All signs shall be kept to a minimum size and height required for reasonable exposure of said signs.
2. Advertising and directional signs will be encourage to be placed along the Wickenburg Highway on Arizona Department of Transportation Highway "logo" signs.
3. No signs may use more than **three (3)** different colors. **One (1)** color shall match the principal building color.
4. All signs shall be made of or appear to be made of natural materials.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

5. Off-site advertising signs shall be prohibited.

ARTICLE 1405.2. HWY 74 SCENIC CORRIDOR:

- 1405.2.1. No more than **two (2)** freestanding monument signs shall be allowed for each development at each approved entrance with the exception of Development Master Plans. (However, no sign may be placed on an individual single family lot.). A sign package for Development Master Plans shall be approved by the Board of Directors.
- 1405.2.2. All signs shall be made of durable materials and be designed to be consistent with the architectural treatment of the building they relate to and overall character of the site.
- 1405.2.3. Off-site advertising signs shall be prohibited within the corridor zone.
- 1405.2.4. Signs for non-residential uses shall be consistent with the underlying zoning district regulations and shall be approved as part of the Plan of Development as required and set forth in the provisions of this Ordinance.

MARICOPA COUNTY ZONING ORDINANCE

Chapter 14 – Sign Regulations

SECTION 1406. MOBILE/MANUFACTURED HOME PARKS

ARTICLE 1406.1. GENERAL STANDARDS:

- 1406.1.1. Shall not exceed **twenty-four (24) square feet** in area.
- 1406.1.3. Any sign may be illuminated in accordance with the provisions set forth in this Ordinance.
- 1406.1.4. Shall not exceed **twelve (12) feet** in height.
- 1406.1.5. Any sign may be located in or projected into required yards, but the sign shall not be located in or projected into any street or alley.
- 1406.1.6. Any sign shall be located on the property to which it pertains.
- 1406.1.7. No more than **one (1)** sign on each street upon which the Mobile/Manufactured Home Park has a major access shall be permitted.